

## GE 刀 REQUIREME

NTS

**HAZARDOUS** 

**MATERIAL** 

S 

## WORK SCOPE

GENERALLY SHALL INCLUDE BUT NOT LIMIT TO THE FOLLOWINGS

**WORK SCOPE** 

- BASE BID

  1. SAWCUT AND REMOVE EXISTING METAL ROOF PANEL EAVE OVERHANG ALONG
  BUILDING LINE 'A' AT EAST ELEVATION.
- INSTALL NEW METAL ROOF PANELS OVER EXISTING METAL ROOF PANELS FROM BUILDING LINE 'A' TO 'B' AND OVERHANG WITH SAME PROFILE AND PATTERN.
- REMOVE EXISTING ROOF EXHAUST FANS, WIRINGS AND CONDUITS, CUT AND CAP WIRING TO EXISTING ELECTRICAL PANEL. DEMOLISH EXISTING THERMAL ROTATING VENTILATORS AND FRAMES.
- INSTALL EAVE, RAKE AND WALL SHEETMETAL FLASHING AND ALL RELATED WORK.
- APPLY FLUID APPLIED ROOF COATING SYSTEM OVER EXISTING METAL ROOF PANELS, FLASHING AND ALL RELATED WORK FROM BUILDING LINE 'B' TO 'C' AND OVERHANG .

# <u>ADDITIVE ALTERNATE NO. 1</u> 1. REROOF BUILDING 90D WITH METAL ROOF AND ALL RELATED WORK

- ADDITIVE ALTERNATE NO. 2

  1. PATCH AND REPAIR UP TO 20 DAMAGED SPOTS OF METAL WALL PANEL AT BUILDING 90 WITH MATCHING METAL WALL PANEL.
- REPAINT BUILDING 90 EXTERIOR WALL METAL AND WOOD SIDINGS, FLASHINGS, TRIMS, DOORS, WINDOW AND SECURITY SCREEN FRAME AND ALL RELATED WORK.

THE BUILDING 90 AND 90D SHALL BE IN OPERATION DURING WORK DAYS, CONTRACTOR SHALL KEEP DISRUPTION TO THEIR OPERATION TO A MINIMUM. DEMOLITION WORK, LOADING AND UNLOADING OPERATION THAT SLOW DOWN OR BLOCKING VEHICULAR AND PEDESTRIAN TRAFFIC SHALL BE CONDUCTED DURING OFF HOURS AND IN NON-WORK DAYS. CLEAN AND REMOVE ALL CONSTRUCTION DEBRIS AND DUST IN THE FACILITY AT THE END OF EACH WORKING DAY. OUTAGES IN WORKING HOURS SHALL BE RESTRICTED IN SMALL ZONES AND IN SHORT DURATION, COST FOR RESET ELECTRONIC SYSTEM AND SECURITY ALARM SHALL BE BORNE BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT OUTAGE SCHEDULE TO THE PROJECT MANAGER FOR COMMENT AND APPROVAL AT LEAST TWO WEEKS PRIOR TO THE OUTAGE. BUILDING OPERATION
THE BUILDING 90 AND 901

### PRECONSTRUCTION CON CONTRACTOR WORK AND D STAGING AND STAGING AND STAGING AND STAGING AND STAGING AND STAGENCE. 3 AREA 3 AREA SHALL I BE DETERMINED

DEMOLITION AND RENOVATION WORK

DEMOLITION WORK SHALL INCLUDE ALL THE WORK INDICATED ON PLANS TO BE DEMOLISHED AND REMOVAL AND ALL THE WORK NOT REQUIRED FOR RENOVATION WORK. RENOVATION WORK SHALL INCLUDE ALL THE WORK INDICATED ON PLANS TO BE RENOVATED AND REPLACED. FOR CLARITY, LOCATIONS AND QUANTITY OF WORKS TO BE DEMOLISHED AND RENOVATED WERE NOT NECESSARILY INDICATED OR TOTALLY SHOWN ON THE PLAN. CONTRACTOR SHALL THOROUGHLY EXAMINE ALL THE WORK REQUIRED TO BE DEMOLISHED AND RENOVATED PRIOR TO COMMENCEMENT OF WORK. HAZARDOUS MATERIALS, SOLVENT, PAINT AND MASTIC REMOVAL, SEALANT, SEALER, COATING OR PAINT THAT CAN GENERATE LINGERING ODOR INSIDE THE ENCLOSED SPACE SHALL NOT BE USED IN THE PROJECT. ယ္

# 4.

WORKS INDICATED TO BE SALVAGED AND/OR REQUIRED TO BE SAVED FOR REINSTALLATION SHALL BE CAREFULLY DISCONNECTED, DISMANTLED AND SAVED FROM WORK AREA AND STORED IN A SECURED STORAGE SPACE DESIGNATED BY THE FACILITY FOR REINSTALLATION. PRIOR TO TRANSPORTING OF THE WORK, CONTRACTOR SHALL CONFIRM WITH PROJECT MANAGER FOR THE STORAGE LOCATION. **FROM** 

# 5

ANCHOR, HANGER, BRACING AND SUPPORT IF REMOVED FOR NEW WORK SHALL BE PROVIDED WITH TEMPORARY BRACING AND SUPPORT DURING CONSTRUCTION. EXISTING WORK IN THE WAY OF NEW CONSTRUCTION WORK INCLUDING ELECTRICAL CONDUITS, WIRINGS, PIPINGS, ANCHORS, FIRE ALARM AND FIRE SPRINKLING SYSTEM SHALL BE DISMANTLED, TEMPORARILY REMOVED AND REINSTALLED AFTER CONSTRUCTION. WORK IN THE WAY OF CONSTRUCTION EXISTING WORK TO REMAIN SHALL BE EXISTING HALL BE

### ဂ္ဂ OFF HOUR WORK WORK ACTIVITY T

WORK ACTIVITY THAT GENERATE EXCESSIVE DUST, NOISE, SMELL, ODOR AND VIBRATION, AND WORK ACTIVITY THAT MAY PREVENT THE USE OF THE FACILITY SHALL BE CONDUCTED AFTER WORKING HOURS, SECURITY PERSONNEL ACCEPTABLE TO THE PROJECT MANAGER SHALL BE REQUIRED FOR ALL OFF HOUR WORK IN THE FACILITY. COST FOR ALL OFF HOUR WORK AND SECURITY PERSONNEL SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.

PROTECTION OF PROPERTY AND EXISTING WORK
CONTRACTOR SHALL REMOVE ALL REMOVABLE FURNITURE AND EQUIPMENT FROM WORK SPACE, WORK REMAIN IN THE RENOVATION WORK SHALL BE PROTECTED IN PLACE, INSTALL WEATHER PROOF PROTECTIVE COVER TO COVER ALL REMAINING FURNITURE, EQUIPMENT AND OTHER FINISH SURFACES. 표

EXISTING ROOF, CEILING AND WALL MOUNTED ELECTRICAL, DATA AND FIRE ALARM SYSTEM, FIRE PROTECTION AND MECHANICAL WORK AFFECTED BY THE ROOFING AND WALL WORK SHALL BE DISMANTLED, REMOVED FOR REINSTALLATION. EXISTING ROOF, CEILING AND WALL MOUNTED ELECTRICAL, DATA AND FIRE ALARM SYSTEM, FIRE PROTECTION AND MECHANICAL WORK NOT DIRECTLY AFFECTED BY THE ROOFING AND WALL WORK SHALL BE COVERED, TIED AND WRAPPED. ALL ROOF AND WALL OPENINGS

ANY DAMAGE DUE TO CONTRACTOR'S WORK INCLUDING DUST, NOISE AND PHYSICAL DAMAGES SHALL BE CLEANED, REPAIRED AND/OR REPLACED AT CONTRACTOR'S SOLE EXPENSE AND TO THE SATISFACTION OF PROJECT MANAGER. PRIOR TO DEMOLITION AND REMOVAL WORK, CONTRACTOR SHALL IDENTIFY ALL PRE-EXISTING DAMAGE AND SUBMIT AN ANNOTATED SUMMARY INCLUDING PHOTOS WITH DATE IF NECESSARY TO THE PROJECT MANAGER FOR RECORD.

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TEMPORARY ROOF PROTECTION

CONTRACTOR SHALL COVER AND PROTECT EXISTING BUILDING FROM WEATHER AND VANDAL DURING CONSTRUCTION. INSTALL TEMPORARY WEATHERPROOF ROOF WITH TEMPORARY ROOF FRAME AND WALL COVER OVER EXPOSED ROOF AND WALL AT THE END OF EACH WORK DAY. EXISTING ROOF TOP AND CEILING ELECTRICAL WORK TO REMAIN SHALL BE COVERED AND PROTECTED IN PLACE, CLEAN AND RESTORE TO WORKING CONDITION AFTER THE END OF THE WORK DAY, DISMANTLE AND REINSTALL AS REQUIRED FOR ROOF RENOVATION WORK. PROVIDE COVER AND PROTECTION FOR AN PROTECTION FOR IN WALL AND FLOOR FINISH, FURNITURE AND EQUIPMENT FOR CEILING AND SOFFIT

HAZARDOUS MATERIALS WERE TESTED POSITIVELY AND FOUND II WHENEVER THE CONFIRMED HAZARDOUS MATERIALS ARE TO BE RENOVATION ACTIVITIES, ALL HAZARDOUS MATERIAL SHOULD BE AND DISPOSED PRIOR TO GENERAL CONSTRUCTION ACTIVITIES P SPEC SECTIONS. CONTRACTOR SHALL INSTALL TEMPORARY COVTO ALL OPENINGS OF BUILDING EXTERIOR DUE TO THE REMOVAL MATERIALS. PROVIDE ALL REQUIRED AIR MONITORING WORK. **HAZARDOUS** 

ACM (ASBESTOS CONTAINING MATERIALS): ACM WERE FOUND IN SAMPLES FROM TARGETED AREAS AS FOLLOWED. ADDITIONAL SUSPECT ACM MAY EXIST WITHIN AND OUTSIDE THE SAMPLE AREAS EXAMINED. IF SUSPECT ACM ARE DISCOVERED DURING THE PLANNED RENOVATION ACTIVITIES, CONTRACTOR SHOULD CONDUCT ADDITIONAL TESTING AND ANALYSIS OF THE SUSPECT ACM.

- BUILDING 90, BLACK TAR SEALANT AT ROOF VENTILATION SEALANT.
  BUILDING 90D, BLACK TAR AT MAINTENANCE EQUIPMENT ROOF INSULATION.
  BUILDING 90D, BLACK TAR AT OFFICE AREA WALL INSULATION.
- LBP (LEAD-BASED PAINTS) AND MATERIALS WITH LEAD: LEAD PAINT SAMPLING WAS CONDUCTED ON THE BUILDING COMPONENTS THAT MAY BE IMPACTED BY THE RENOVATION ACTIVITY. LEAD WAS IDENTIFIED IN THE VARIOUS PAINTS ON:
- BUILDING : VIG 90D, MAINTENANCE EQUIPMENT CARPORT METAL POST CREAM COLOR PAINT. ROOF

THE CONTRACTOR'S EMPLOYEES REMOVING OR DISTURBING TH MUST BE INFORMED THAT IT CONTAINS LEAD AND MUST HAVE RE UNDER OSHA 29 CFR 1926.62 LEAD AND HIOSH 12-148.1 LEAD. IF JUNTESTED PAINTS ARE DISTURBED, THEY SHOULD BE ASSUMED G THE PAINTED MATERIAL /E RECEIVED TRAINING ). IF ANY OTHER MED TO CONTAIN LEAD.

IF THE PAINTED COMPONENTS CONTAINING THE LEAD ARE SCHEDULED FOR DEMOLITION, COMPOSITE SAMPLES OF THE EXPECTED BUILDING WASTE GENERATED SHOULD BE COLLECTED FOR TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) ANALYSIS TO DETERMINE THE WASTE DISPOSAL CHARACTERIZATION. HAWAII ADMINISTRATIVE RULES, TITLE 11, DEPARTMENT OF HEALTH, CHAPTER 261, HAZARDOUS WASTE MANAGEMENT ALLOWS A MAXIMUM CONCENTRATION OF LEAD CONTAMINANT BY TCLP AT 5.0 MG/L. TCLP RESULTS EXCEEDING THE 5.0 MG/L THRESHOLD REQUIRES THE MATERIAL TO BE DISPOSED OF AS HAZARDOUS WASTE. RESULTS BELOW THIS THRESHOLD ALLOWS FOR THE MATERIALS TO BE DISPOSED OF AS CONSTRUCTION DEBRIS. US WASTE. )ISPOSED OF

ABATEMENT REQUIREMENTS			INDEX TO DRAWINGS
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MATERIALS ARE TO BE DISTURBED DURING	3	A1.1	A1.1 BUILDING 90 DEMOLITION ROOF PLAN
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, CONTRACTOR VECOLU CONDOCT			

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	LICENSE ECPHRATION DATE: 4/30/2016		THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.	MAIL USA	PROFESSIONAL ARCHITECT	OF CHAK CKIN
SCALE: AS INDICATED	DRAWN BY:	DESIGNED BY:	LOU CHAN & ASSOCIATES, INC.	WORK SCOPE, GENERAL REQUIREMENTS AND INDEX TO DRAWINGS	REPLACE ROOFS & REPAIR EXTERIOR WALLS BUILDINGS 90 & 90D, FORT RUGER STATE OF HAWAII, DEPARTMENT OF DEFENSE	STATE OF
	APPROVED BY  LCC	CHECKED BY:	SOCIATES, INC.			STATE OF HAWAII, DEPARTMENT C ENGINEERING OFFICE
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